



LAWRENCE BOARD OF ZONING APPEALS
OF MARION COUNTY, INDIANA
PETITION FOR VARIANCE

DOCKET #: _____

ADDRESS OF PREMISES AFFECTED: 10825 E. 63rd St. Lawrence IN 46236
STREET ADDRESS CITY STATE ZIP

NAME OF PETITIONER(S): Charles H. & Asrah Heintzelman PHONE: IN

PETITIONER(S) E-MAIL: chuck@milestoneventuresinc.com

PETITIONER(S) ADDRESS: 8152 Castilla Dr., Lawrence IN 46236
STREET ADDRESS CITY STATE ZIP

AGENT: N/A Joseph R. Hyde PHONE: 574-536-3731

AGENT E-MAIL: jhydecprn@gmail.com or jw.americansunspace@gmail.com

AGENT ADDRESS: 58747 St. Marys Lane Goshen IN 46528
STREET ADDRESS CITY STATE ZIP

NAME OF OWNER(S): N/A PHONE: _____

IF DIFFERENT FROM PETITIONER(S)
OWNER(S) E-MAIL: _____

OWNER(S) ADDRESS: _____
STREET ADDRESS CITY STATE ZIP

IS/ARE THE PETITIONER(S) THE OWNER(S) OF ONE HUNDRED PERCENT (100%) OF THE ARE INVOLVED IN THE PETITION?
YES NO

LEGAL DESCRIPTION (CHECK ONE):

- COMPLETE METES & BOUNDS WITH LEGAL DESCRIPTION ATTACHED
 PLATTED SITE WITHIN A RECORDED SUBDIVISION WITH COPY OF PLAT MAP ATTACHED
SUBDIVISION NAME: _____ SECTION: _____
LOT NUMBER(S): _____

IS THIS PROPERTY THE SUBJECT OF ANY CODE ENFORCEMENT ACTION? YES NO

WAS THIS PROPERTY THE SUBJECT OF ANY PREVIOUS PETITION(S)? YES NO

IF YES, LIST THE DOCKET NUMBER(S): 2005DVL002

CURRENT ZONING: D-A TOWNSHIP: Lawrence ACREAGE: .459

EXISTING USE OF THE SUBJECT PREMISES: Residential

THE VARIANCE REQUEST IS FOR A VARIANCE OF:

- USE DEVELOPMENT STANDARDS
 USE AND DEVELOPMENT STANDARDS SPECIAL EXCEPTION
 ReZoning

PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED USE: STATE THE SPECIFIC ORDINANCE(S), STANDARDS(S), AND/OR REGULATION(S) SOUGHT TO BE MODIFIED (ATTACH ADDITIONAL PAGES, IF NECESSARY).

Table 742-103-1 D-A District Dimensional Standards, Minimum Open Space. Petitioner is requesting a Development Standards Variance to permit the minimum open space requirement on this lot to be reduced to 79% to permit the addition of a 168 square foot all sunroom addition to the primary residence.



THE ABOVE INFORMATION, TO MY KNOWLEDGE AND BELIEF, IS TRUE AND CORRECT.

SIGNATURE(S) OF PETITIONER(S) OR AGENT

SIGNATURE(S) OF OWNER(S) IF DIFFERENT THAN PETITIONER

STATE OF INDIANA, COUNTY OF MARION, SS:

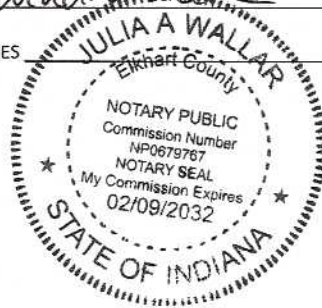
SUBSCRIBED AND SWORN TO BEFORE ME THIS 5th DAY OF August, 2024

NOTARY PUBLIC Julia A. Wallar

PRINTED NAME Julia A. Wallar

MY COMMISSION EXPIRES _____

COUNTY OF RESIDENCE _____





LAWRENCE BOARD OF ZONING APPEALS
OF MARION COUNTY, INDIANA

VARIANCE OF DEVELOPMENT STANDARDS
FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS AND GENERAL WELFARE OF THE COMMUNITY BECAUSE:

Granting this petition will permit the construction of an attached sunroom to the existing single-family home. Single-family homes do not generate any adverse or noxious fumes, sounds, or other adverse impacts to surrounding land uses. Additionally, the proposed sun room will be attached to the rear of the existing home and will not be visible from the public right-of-way.

2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE:

The property is surrounded by single-family homes on the north, east, and west side. Property adjoining the property to the south is a large vacant lot owned by a church with frontage on Sunnyside Road. The proposed sunroom addition is compatible to the surrounding land uses and will not affect adjacent properties in a substantially adverse manner.

3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE

The strict application of the zoning ordinance will prevent the addition of the sun room would prevent an improvement to the property for the benefit of the current residents. Additionally, the zoning classification for this area is outdated as the current D-A zoning classification requires a minimum 3-acre lot. The single-family homes on the north side of 63rd St. are zoned D3 have an open-space requirement of 70% of the lot area which is a more reasonable standard for the homes on the south side of 63rd St. given that the lots do not meet the minimum lot-sized required for a D-A zoning district.



City of
Lawrence
Indiana

PETITION NO.: _____

LAWRENCE BOARD OF ZONING APPEALS
OF MARION COUNTY, INDIANA

CONSENT FORM

The undersigned, Charles H. Heintzelman being the owner(s) of the property
commonly known as 2152 Custilla Dr. Lawrence IN 46236, hereby authorize(s)
Joseph R. Hyde to file land development
petitions necessary for the aforementioned address.

This consent shall:

remain in effect until revoked by a written statement filed with the Lawrence Board of Zoning Appeals.

OR

remain in effect until _____, 20_____.

[Signature]

Property Owner

Property Owner

Date: 8/5/24

Date: _____

STATE OF INDIANA)
) SS:
COUNTY OF _____)

Before me, a Notary Public in and for said County and State, appeared the Property Owner(s) herein, who
acknowledged the execution of the foregoing as his/her/their voluntary act and deed for the uses and purposes
expressed therein.

Witness my hand and notarial seal this 5th day of August, 2024.

My commission expires:



[Signature]

NOTARY PUBLIC

Julia A. Wallar

Printed Name

New Building Addition For:
Donald & Kathy Heintzelman
10825 E 63RD Street
Indianapolis, IN 46236

Drawing Index:

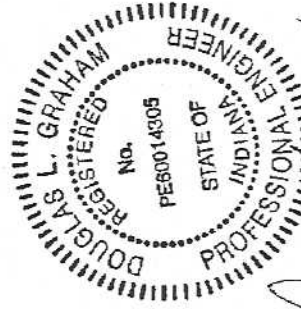
4-Season Sunroom

Cover Page
Plan View
Electrical Plan
Deck Plan

Left Side View
Front View
Right Side View
Roof Layout
Window Schedule
REScheck



30012 C.R. 10 West
Elkhart, IN 46514
(574) 262-1989 • (800) 772-4626
Fax (574) 264-0944



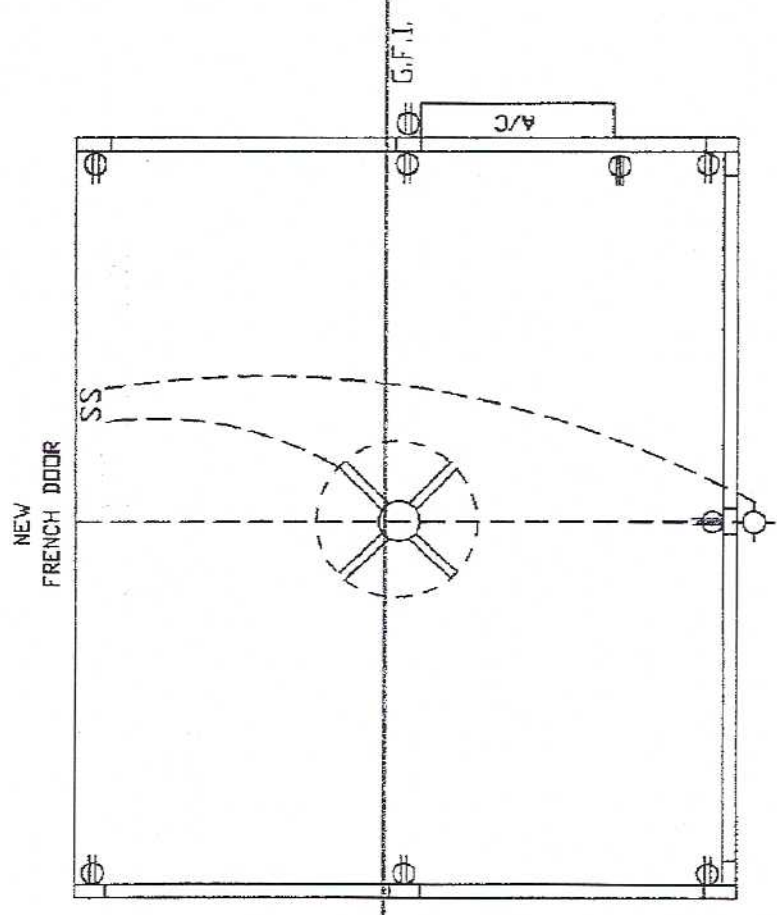
Douglas L. Graham
9/13/84

ELECTRICAL LEGEND

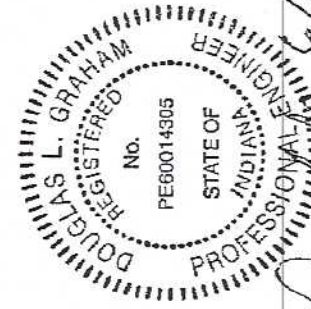
- ⊕ = DUPLEX RECEPTACLE
- ⊕ = 240 VOLT RECEPTACLE
- S = SINGLE POLE SWITCH
- ⊕ = GROUND FAULT INTERRUPT
- ⊕ = DUPLEX RECEPTACLE
- ⊕ = LIGHT FIXTURE
- ⊕ = CEILING FAN w/ LIGHT
(CUSTOMER TO PROVIDE FAN & IT MUST BE ON SITE AT TIME OF ELECTRICAL INSTALLATION)

ELECTRICIAN

COMPANY NAME ADVANCE ELECTRIC
 ADDRESS 9002 Mud Creek Road
INDIANAPOLIS, IN 46256
 PHONE 317-891-0899

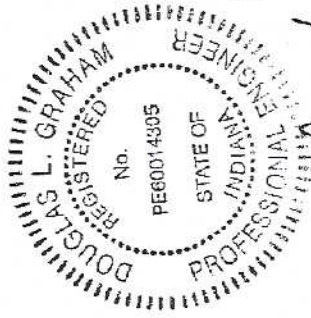


- 7-RECEPTS
- 1-EXTERIOR FLOOD LIGHT UNDER BEAM w/ SWITCH AT HOUSE
- 1-EXTERIOR G.F.I. RECEPT
- 1-CEILING FAN w/ SWITCH AT HOUSE - CUSTOMER TO PROVIDE FAN IF REMOTE - ON/OFF SWITCH, IF NO REMOTE - FAN/LIGHT SWITCH
- 1-30 AMP 240 VOLT RECEPT FOR PTAC UNIT



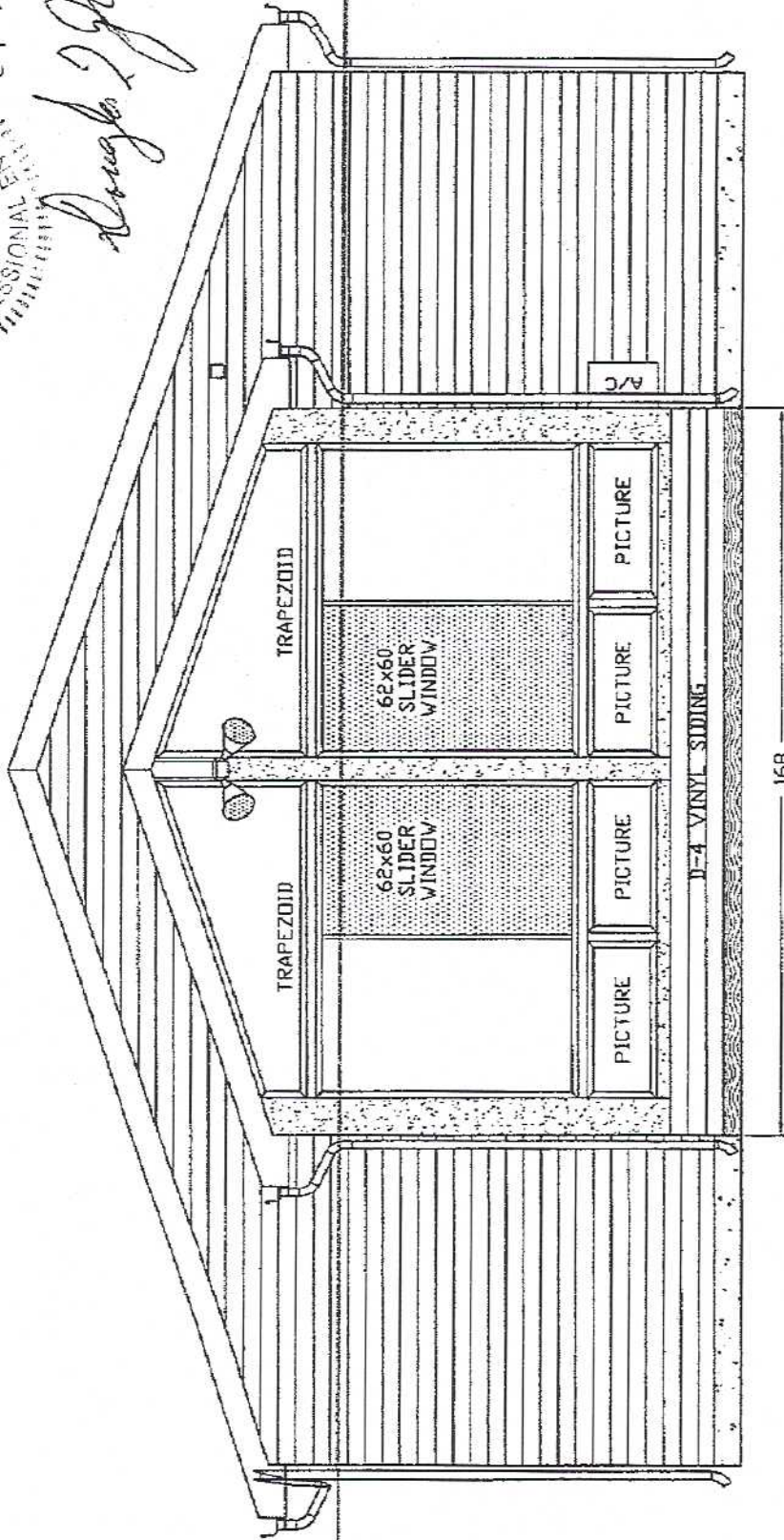
Douglas L. Graham
 6/13/24

ELECTRICAL PLAN **Donald & Kathy Heintzelman** **10825 E 63RD St, Indianapolis, IN** **AMERICAN SUNSPACE**



6B/24

Douglas L. Graham



WALL #2

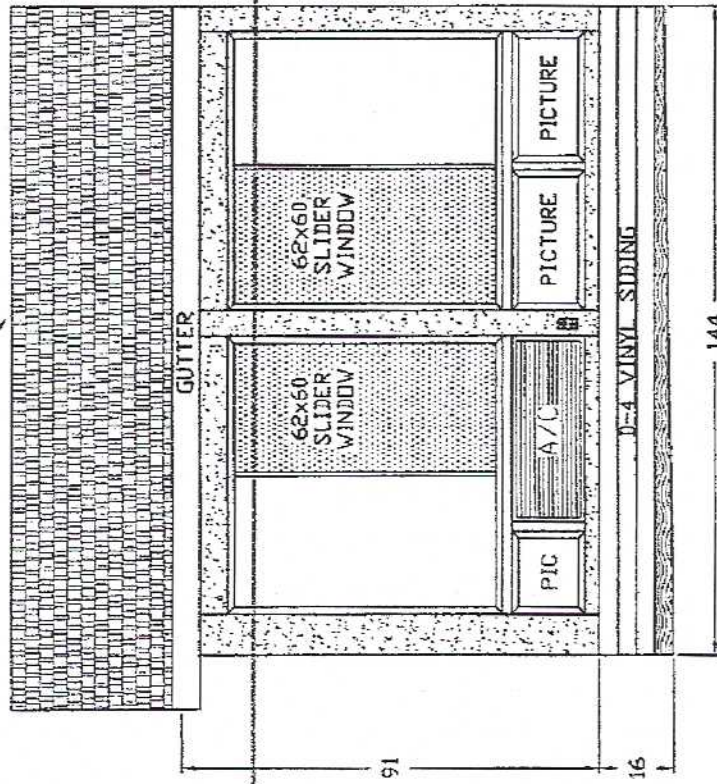
FRONT VIEW

Donald & Kathy Heintzelman

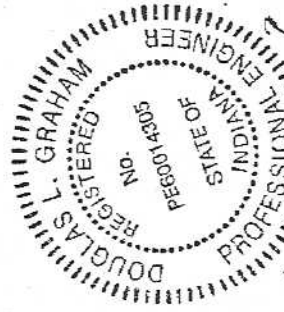
10825 E 63RD St, Indianapolis, IN

AMERICAN SUNSPACE

4/12 SHINGLED ROOF



WALL #3



6/13/24

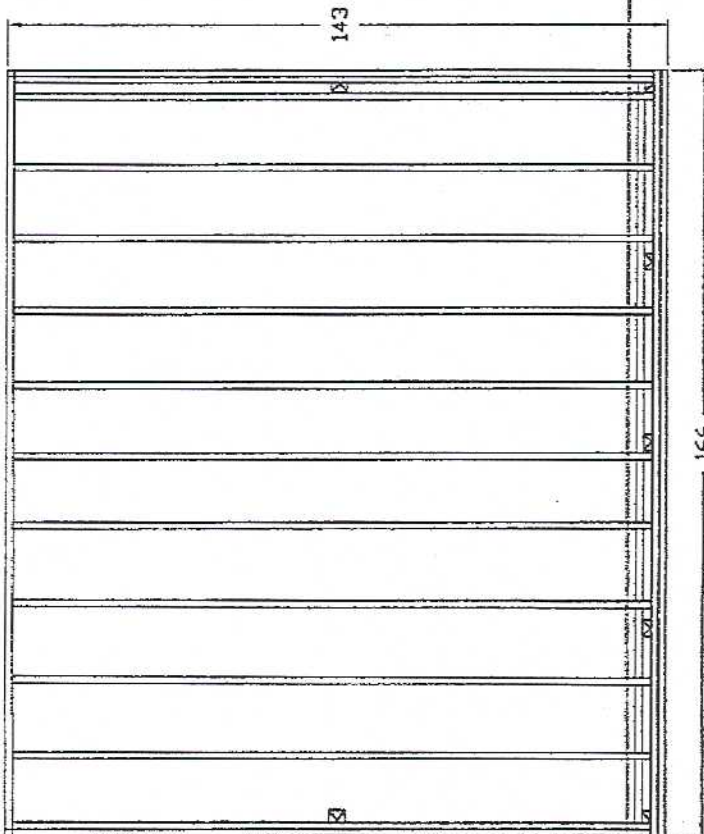
Douglas L. Graham

RIGHT SIDE VIEW

Donald & Kathy Heinzelman

10825 E 63RD St, Indianapolis, IN

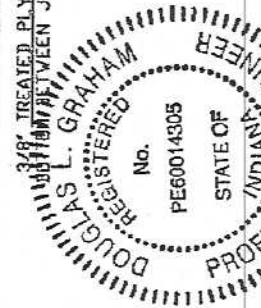
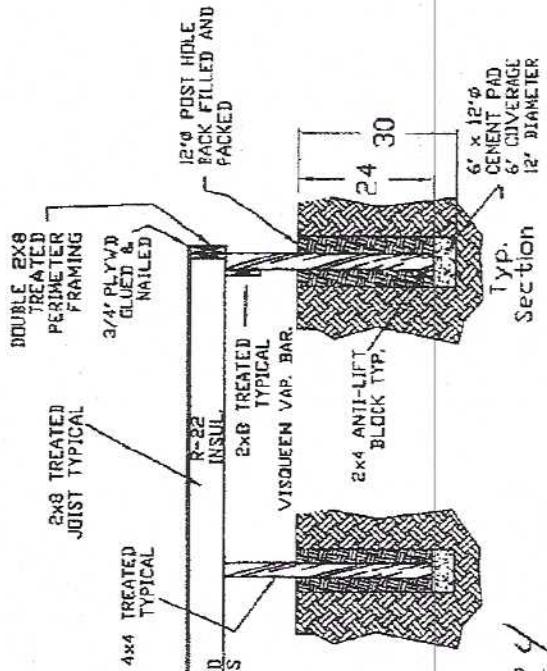
AMERICAN SUNSPACE



ASSUMED SOIL LOAD 2000 PSI
 POST PAD 12" DIA. 0.78 SF
 ALLOWABLE LD / POST 1560 P
 FLOOR LL 40 PSF
 ROOF LL 20 PSF
 BLDG L DL 15 PSF
 TTL LOAD 75 PSF

BLDG AREA ON POSTS 12.4
 NUMBER OF POSTS 7
 LOAD AREA / POST 10 SF
 LOAD / POST 1325p
 SOIL LOAD > POST LOAD 1325 < 1560

DOUBLE 2x8 TREATED PERIMETER FRAMING
 2x8 TREATED FLOOR FRAMING 16" O.C.
 3/8" TREATED PLYWOOD BOTTOM BETWEEN JOISTS
 3/4" REGULAR T&G PLYWOOD GLUED & NAILED
 R-22 INSULATION IN FLOOR
 VISQUEEN VAPOR BARRIER ON GROUND
 (7) 4x4 POSTS UNDER FLOOR
 2x8 BACKSET BEAM
 JOIST HANGERS FRONT & REAR
 FLOOR LEVEL TO HOUSE
 LEDGER LOK SCREWS INTO HOUSE
 WIRE RUN THROUGH FLOOR
 ROUGHT OUT DRYER VENT



Douglas L. Graham 6/13/24

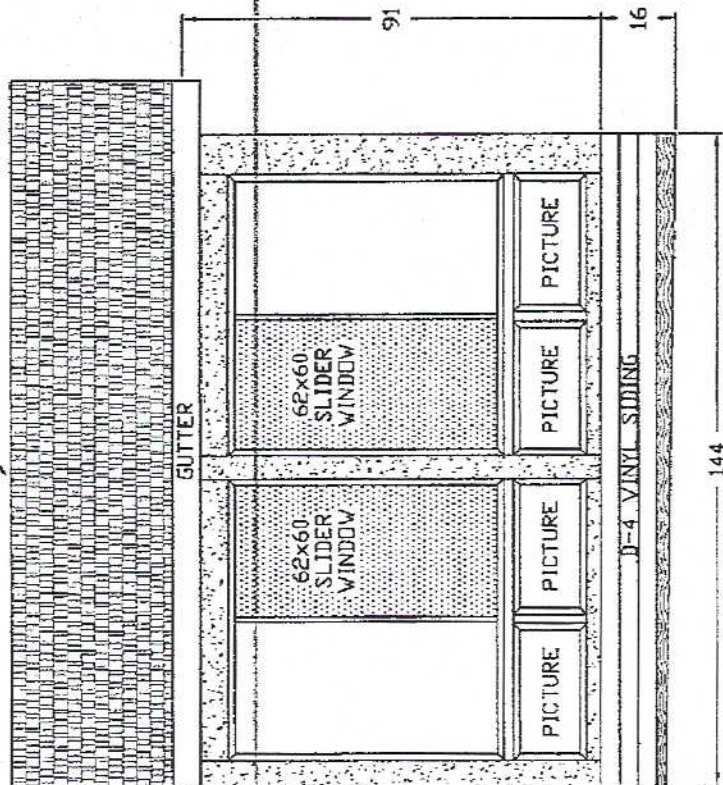
AMERICAN SUNSPACE

10825 E 63RD St, Indianapolis, IN

Donald & Kathy Heintzelman

DECK PLAN

4/12 SHINGLED ROOF



WALL #1



Douglas L. Graham
6/13/24

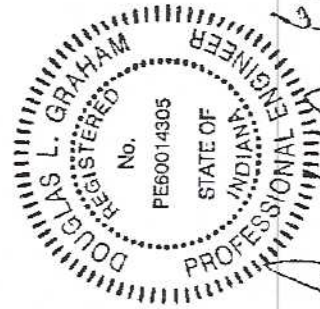
AMERICAN SUNSPACE

Donald & Kathy Heintzelman 10825 E 63RD St, Indianapolis, IN

LEFT SIDE VIEW

10x96	10x96
48x96	48x96
48x96	48x96
48x96	48x96

SUN ROOM



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6/13/24

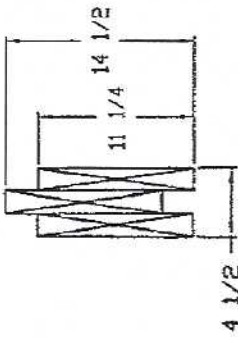
AMERICAN SUNSPACE

10825 E 63RD St, Indianapolis, IN

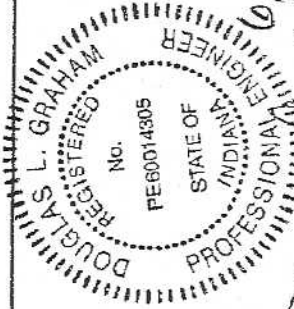
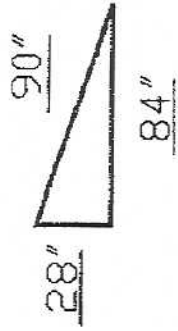
Donald & Kathy Heintzelman

ROOF LAYOUT

TRIPLE 2x12
GLUED & NAILED



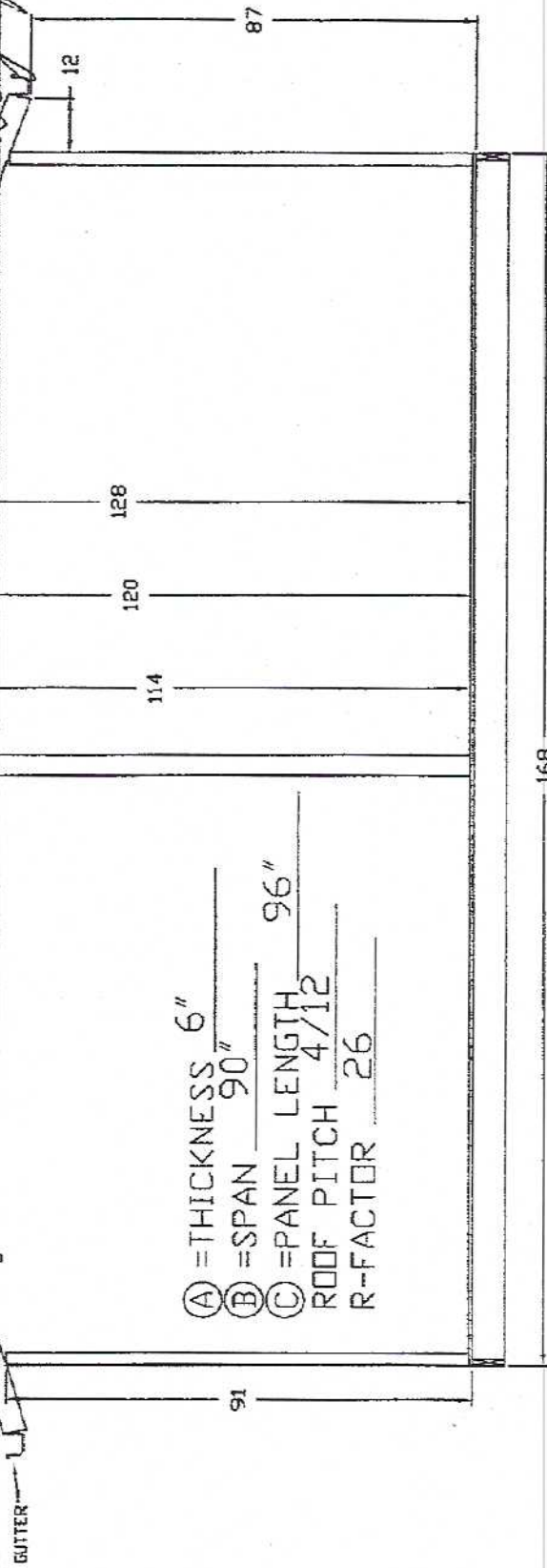
BEAM SECTION



6/3/21
Douglas Graham

STRUCTURAL INSULATED ROOF PANELS

- Ⓐ = THICKNESS 6"
- Ⓑ = SPAN 90"
- Ⓒ = PANEL LENGTH 96"
- ROOF PITCH 4/12
- R-FACTOR 26



TYPICAL GABLE ROOM CROSS SECTION

CROSS SECTION

Donald & Kathy Heintzelman

10825 E 63RD St, Indianapolis, IN

AMERICAN SUNSPACE

200 SERIES SLIDERS WHITE LOW E ARGON

- 2-62 X 60 LH
- 2-62 X 60 RH
- 1-73 X 60 LH
- 1-73 X 62 RH

6-LARGE SLIDERS

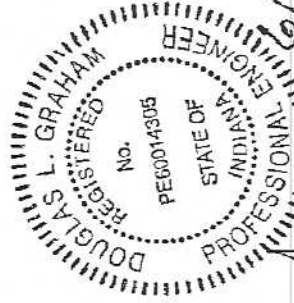
LOWER PICTURES (SAFETY)

- 6-30 1/8 X 16
- 1-18 3/8 X 16
- 4-35 5/8 X 16

11-LOWER PICTURES

1-71 X 81 1/2 FRENCH DOOR INTO HOUSE

17-UNITS + 2 TRAPEZOIDS = 19-UNITS + 1 FRENCH DOOR



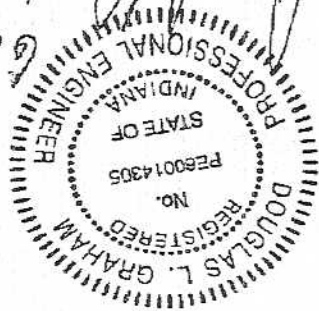
Douglas L. Graham
6/13/24

WINDOW SCHEDULE	Donald & Kathy Heintzelman	10825 E 63RD St, Indianapolis, IN	AMERICAN SUNSPACE
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The REScheck Software Tools Cannot Currently Be Used To Show Compliance Using The Prescriptive Criteria Alternative Compliance Defined For Sunrooms In The 2009 IECC.

Douglas L. Graham

6/13/24



Climate Zone: 5
Marion County Indiana

Skylights	U=0.75	All	N/A	N/A
fenestration	U=0.50	5	R=3.5/U=0.29	Yes
Floor	R-21	5	R-22	Yes
Walls	R-13	5	R-13.5	Yes
Ceiling	R-25	5	R-26	Yes
	Climate Zone	R-Value/U-Factor	Compliance	

2009 IECC Sunroom Insulation Requirements

30 Amp Ammana P-TAC Unit

 49 %
 168 Sq. Ft

Room Area < 500 Sq. Ft.
 >40% Glazing of Gross Exterior Wall & Roof Area
 Thermally Isolated
 Not Used as a Kitchen or Sleeping Quarters
 Separate Heating/Cooling System or Zone

This Sunroom:

Criteria:

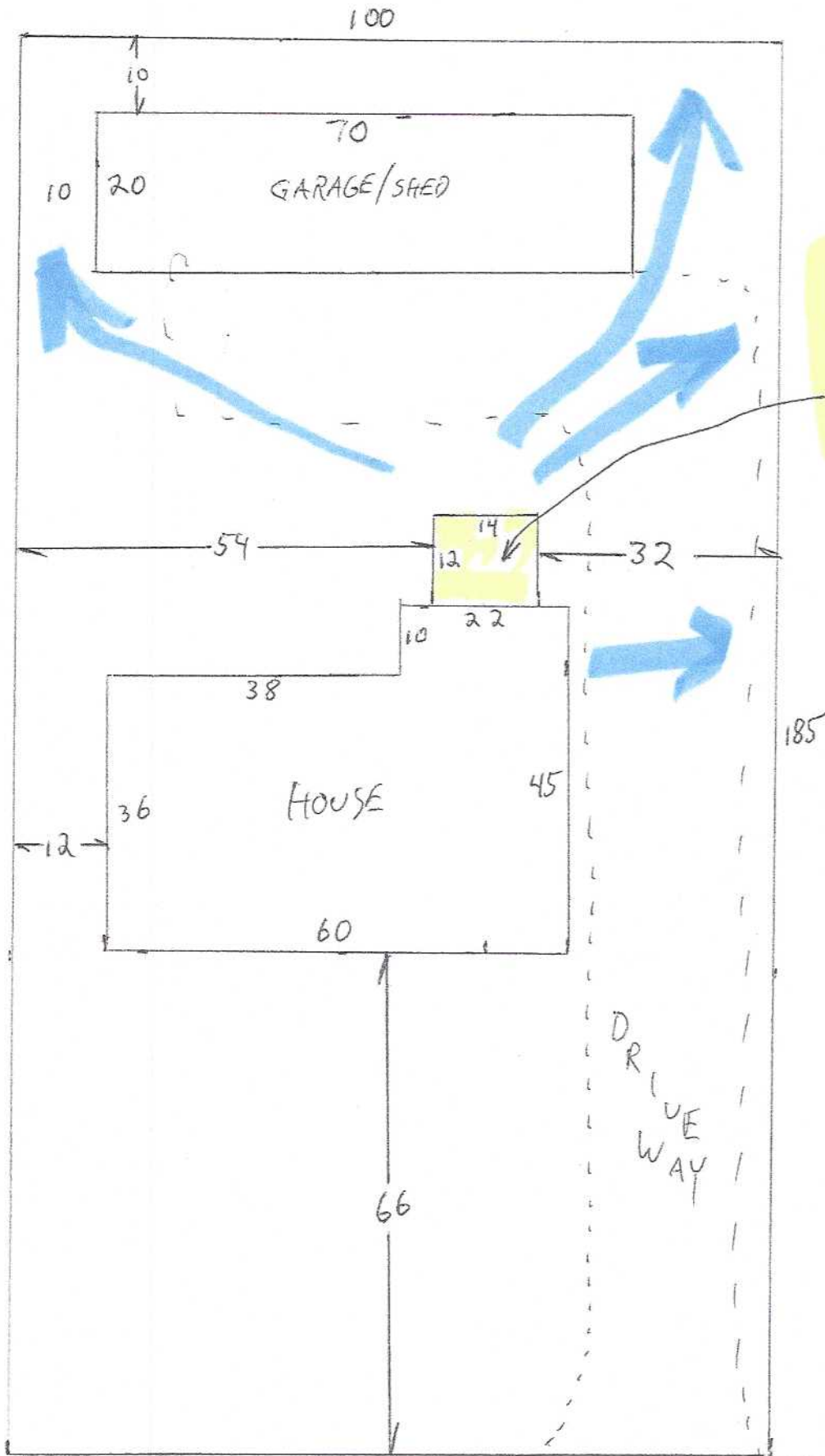
Custom Compliance Sheet For Heintzelman (12 x 14')

Sunroom
Energy Code
Compliance Sheet



Heintzelman

Docket # ILP24 01648



→ DRAINAGE

PROPOSED
SUNROOM
ADDITION

20:1
N
↓

HEINTZELMAN
10825 E 63RD ST

E. 63RD ST.