



Address: 10825 E 63<sup>rd</sup> St  
Docket # 24 LSV 05  
Hearing Date: October 15, 2024  
Council District # 3 (Freeman)

Owner/Petitioner: Charles H. & Asrah Heintzelman  
10825 E 63<sup>rd</sup> St  
Lawrence, IN 46236  
[chuck@milestoneventuresinc.com](mailto:chuck@milestoneventuresinc.com)

Agent: Joseph Hyde  
[jhydecpn@gmail.com](mailto:jhydecpn@gmail.com)  
574-536-3731

**Application:**

Variance of Development Standards of the City of Indianapolis Consolidated Zoning/Subdivision Ordinance, Table 742-103-1, DA District Dimensional Standards, to reduce the minimum open space requirement to 79% (85% required).

**Analysis:** Single family residence requesting to add 168 square foot sunroom.

**Opinion:**

It is the opinion of this review that the Petition for Variance of Development Standards meets the Finding of Fact requirements.

**Recommendation:**

It is our recommendation that this variance be approved.

Christopher Andrew Wilburn

Christopher Andrew Wilburn | Oct 15, 2024 11:22 EDT

Director of Public Works, Christopher Wilburn



**Summary of the Subject Property Zoning Standards**

Current Zoning Designation:	DA
Surrounding Property Zoning	
North:	D3
South:	DA
East:	DA
West:	DA
Comprehensive Plan Land Use Designation:	
Current Land Use:	Residential
Compact Context Area:	Metro
Relevant Code Sections:	<a href="#">Table 742-103-1</a>

<b>TABLE 742-103-1 D-A DISTRICT DIMENSIONAL STANDARDS</b>	
<b>LOT STANDARDS</b>	
Minimum lot area	3 acres
Minimum lot width	250 ft.
Minimum street frontage	125 ft.
Minimum open space	85%
<b>SETBACKS</b>	
Minimum depth front yard	See Table 744-201-1
Minimum width of side yard	30 ft.
Minimum width of side yard (aggregate)	75 ft.
Minimum depth of rear yard	75 ft.
<b>BUILDING STANDARDS</b>	
Maximum height of primary building	35 ft.
Maximum height of accessory building	24 ft.
Minimum main floor area (1-story)	1200 sq. ft.
Minimum main floor area (above 1-story)	800 sq. ft.

This Table is a summary of selected standards; refer to Chapter 744, Article II Lot and Building Dimensions, for additional regulations.

\*In case of a discrepancy with this summary table, the master table in Chapter 744-II governs.



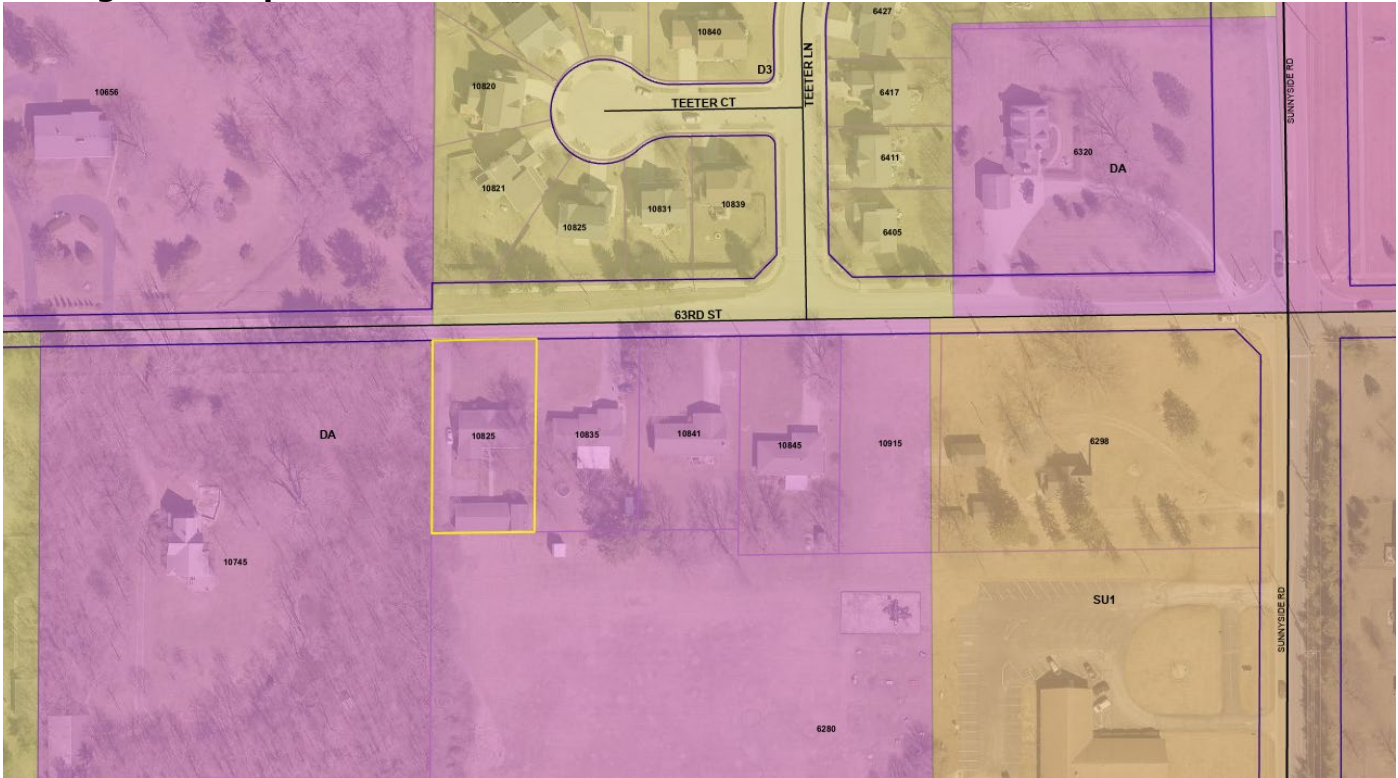
City of  
**Lawrence**  
Indiana

**Aerial:**





**Zoning Base Map:**

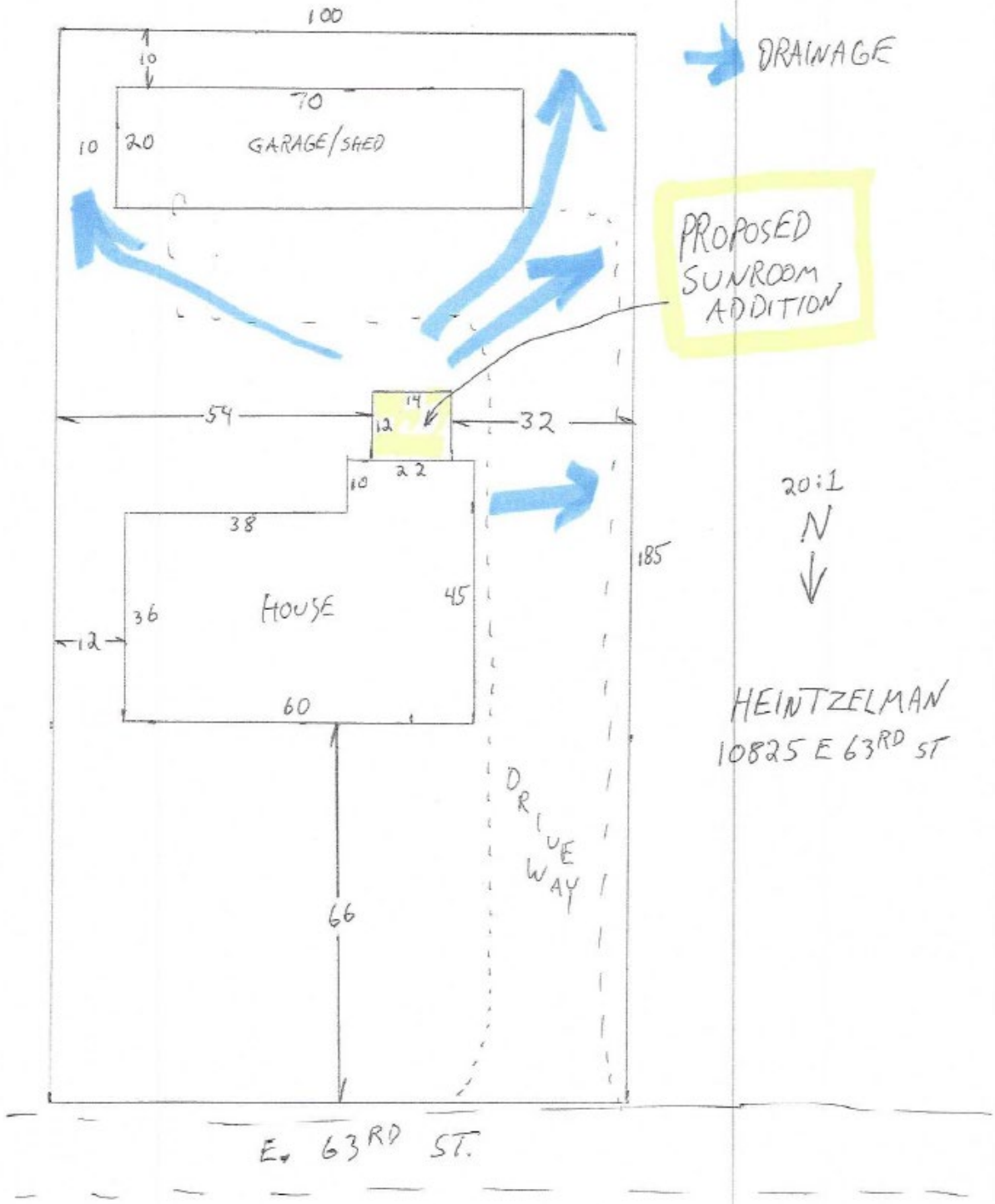






**Site Plan:**

Heintzelman Docket # ILP24 01648





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**Elevation:**

TRAPEZOID      TRAPEZOID

62x60 SLIDER WINDOW      62x60 SLIDER WINDOW

PICTURE      PICTURE      PICTURE      PICTURE

D-4 VINYL SIDING

168

WALL #2

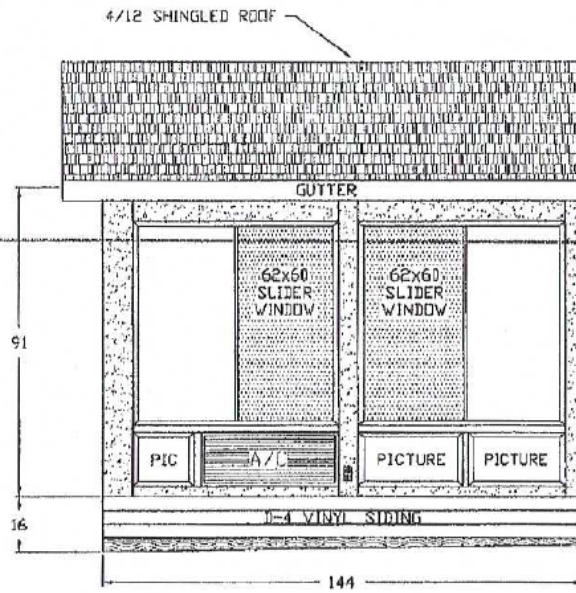
DOUGLAS L. GRAHAM  
REGISTERED  
No. PE80014305  
STATE OF INDIANA  
PROFESSIONAL ENGINEER

6B/24  
*Douglas L. Graham*

<b>FRONT VIEW</b>	<b>Donald &amp; Kathy Heintzelman</b>	<b>10825 E 63RD St, Indianapolis, IN</b>	<b>AMERICAN SUNSPACE</b>
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City of  
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Indiana



WALL #3

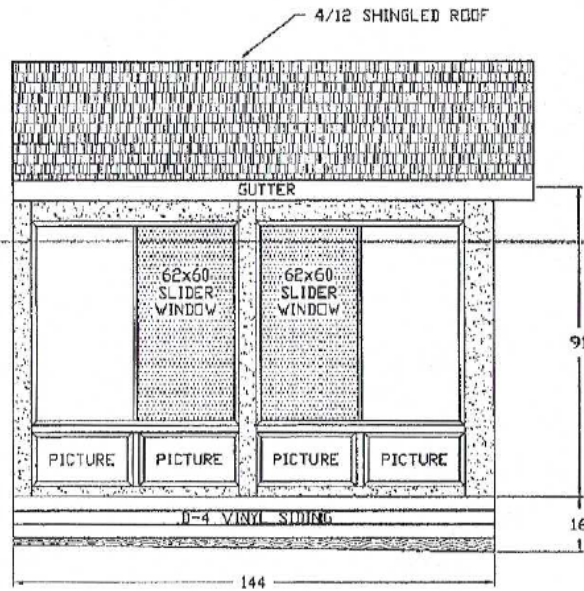


*Douglas L. Graham*  
6/13/24

RIGHT SIDE VIEW	Donald & Kathy Heintzelman	10825 E 63RD St, Indianapolis, IN	AMERICAN SUNSPACE
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City of  
**Lawrence**  
Indiana



WALL #1



*Douglas L. Graham* 6/13/24

LEFT SIDE VIEW

Donald & Kathy Heintzelman

10825 E 63RD St, Indianapolis, IN

AMERICAN SUNSPACE





**Findings of Fact (as provided by applicant):**

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS AND GENERAL WELFARE OF THE COMMUNITY BECAUSE:

**Granting this petition will permit the construction of an attached sunroom to the existing single-family home. Single-family homes do not generate any adverse or noxious fumes, sounds, or other adverse impacts to surrounding land uses. Additionally, the proposed sun room will be attached to the rear of the existing home and will not be visible from the public right-of-way.**

2. THE USE OR VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE:

**The property is surrounded by single-family homes on the north, east, and west side. Property adjoining the property to the south is a large vacant lot owned by a church with frontage on Sunnyside Road. The proposed sunroom addition is compatible to the surrounding land uses and will not affect adjacent properties in a substantially adverse manner.**

3. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE WILL RESULT IN PRACTICAL DIFFICULTIES IN THE USE OF THE PROPERTY BECAUSE

**The strict application of the zoning ordinance will prevent the addition of the sun room would prevent an improvement to the property for the benefit of the current residents. Additionally, the zoning classification for this area is outdated as the current D-A zoning classification requires a minimum 3-acre lot. The single-family homes on the north side of 63rd St. are zoned D3 have an open-space requirement of 70% of the lot area which is a more reasonable standard for the homes on the south side of 63rd St. given that the lots do not meet the minimum lot-sized required for a D-A zoning district.**







# 10825 E 63rd St ~ Petition 24LSV05

Final Audit Report

2024-10-15

Created:	2024-10-15
By:	Renea Rafala (rrafala@cityoflawrence.org)
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## "10825 E 63rd St ~ Petition 24LSV05" History

-  Document created by Renea Rafala (rrafala@cityoflawrence.org)  
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-  Document emailed to cwilburn@cityoflawrence.org for signature  
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-  Email viewed by cwilburn@cityoflawrence.org  
2024-10-15 - 3:22:15 PM GMT
-  Signer cwilburn@cityoflawrence.org entered name at signing as Christopher Andrew Wilburn  
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